

November 23rd, 2020

ADDENDUM NO. 1

PROJECT: CITY OF DURHAM SOLID WASTE MANAGEMENT SCALE HOUSE & BREAKROOM
DURHAM, NC

FROM: DTW ARCHITECTS & PLANNERS, LTD.
229 NORTH GREGSON STREET
DURHAM, NC 27701
Phone: 919.317.4020 Fax: 919.317.4023 Email: info@dtwarch.com

TO: PRIME BIDDERS

This addendum containing the following additions, clarifications, and/or changes, is issued prior to receipt of bids and does hereby become part of the original Contract Documents dated October 23rd, 2020 and supersedes the original documents in case of conflict. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so will result in the disqualification of the corresponding bid.

This addendum consists of:

- 03 Sheets Questions and Answers (8-1/2 x 11)
- 04 Sheets PRE-BID TELECONFERENCE AGENDA (8-1/2 X 11)
- 01 Sheets Architectural Changes (8.5x11)
- 01 Sheets Architectural Changes (24x36)

I. PRE-BID TELECONFERENCE AGENDA AND ATTENDEES

- a. Discussion
 - i. Design and Owner teams were introduced.
 - 1. Owner – City of Durham - Project Manager – Nia Rodgers
 - 2. Architect – DTW Architects & Planners, Ltd – Paul Young, AIA
 - 3. Landscape Architect – CJT PA. – Preston Royster
 - ii. See attached Pre-Bid Teleconference Agenda for other discussion items

II. QUESTIONS & ANSWERS:

- a. Are their LD's on this project? If so what are they?
 - i. Answer: The LD's are covered in the Project Schedule; this page is right before the COVID-19. There are two liquidated damages. Please read this section carefully.
- b. In reviewing the plans for the Solid Waste Scale house I see a manual gate was added. I have searched the civil plans for where this gate is located and I only find one call out for a new gate. The gate detailed on A1 detail 4 measures 24ft in length. Where the gate is shown on the civil plans scales at 44 ft from post to post. Can you clarify where the gate is going if verify that detail 4 is correct?
 - i. Answer: The gate details on A1 have been removed. See attached drawing sheet. Please see specification Section 111233: Parking Gates for gates for this project. The spec calls for (2) units each with a 25' long barrier arm. These will be located in the same location, but in lieu of, the swing gates shown on C-2.0. These gates are the gates that will be priced as Alternate G-3 on the bid documents. There is an "s" missing on the bid proposal form at the end of "gate" and "foundation" in the description of Alternate G-3. The alternate shall be priced for (2) gates and (2) foundations.

- c. Is a bid bond required?
 - i. Answer: No, a **bid bond** is not required. Other bonds are as required in the specifications.
- d. Sheet C-1.0 notes to “demo concrete and building structure located inside hatched area,” please clarify the details of this building structure.
 - i. Answer: The building is a 3’x5’ guard booth made of aluminum, steel, and plywood. Bidders are welcome to visit the site and look at the guard booth.
- e. Is the entire existing water line meant to be abandoned in place or just the portions under the existing scales?
 - i. Answer: The water line will be abandoned in place except where it needs to be removed for the proposed improvements.
- f. Clarify the difference between the note “demo concrete inside hatched area” and the note “demo existing concrete inside limit of disturbance” on sheet C-1.0.
 - i. Answer: All concrete within the limits of disturbance is to be removed.
- g. The vehicular gate detail on sheet A1 shows a 24 foot wide gate and notes that 2 are required. The only gate shown on the drawings is on sheet C-2.0 and it is roughly 44’-6” wide. The specs also mentions two gates being 25’ wide. Please clarify what gates are needed specifically and in what locations.
 - i. Answer: See answer to “b” above.
- h. One of the modular manufacturers asked: Would vinyl covered wall covering in lieu of painted walls be accepted? They state that they are more common in modular buildings.
 - i. Answer: Vinyl covered wall covering will not be accepted.
- i. Please clarify the details of the ADA ramp and deck. The detail on sheet C-8.0 notes a concrete ramp, while sheet A1 notes a metal deck and metal ADA ramp.
 - i. Answer: The ramp at the modular unit shall be metal as indicated on A1.
- j. Are dumpsters being provided by the owner?
 - i. Answer: See note 6 on A1.
- k. What are the materials for the countertops? What are the laminate sections? Please provide a detail of the cabinets/countertops.
 - i. Answer: Please review specification section 123216 for Plastic Laminate Faced Casework. Countertops shall be plastic laminate. See attached detail through casework.
- l. There is a 4’x8’ concrete generator pad on sheet C-2.0. Is this included in the base bid? If so, is the generator not included?
 - i. Answer: Yes, the pad is included in the base bid. The generator is not included in the base bid.
- m. Is the existing light to be relocated to be coordinated with duke energy and the city of Durham as well? The plans do not clarify, and they note that contractor shall extend wire to new location.
 - i. Answer: Existing light to be relocated, shall be relocated by GC and EC. This is an owner owned light. Sheet c-1.0 shows existing location. Sheet C-2.0 shows the relocated location. Power shall be extended underground, in conduit, by the electrical subcontractor from the existing location to the relocated location. Provide in ground junction box at existing location for connection and extension of wires to new location.
- n. How the heck do we heat the backflow?
 - i. Answer: Modular manufacture shall provide a breaker for the backflow preventer hot box in the main electrical panel. Electrical subcontractor shall provide and install a complete circuit from the hot box to the main electrical panel including all wiring and conduit.

- o. A question I just received from one of the modular contractors is to clarify what is meant from “no above grade foundation.” They are not sure if the building is allowed to be on blocks with a foundation to allow for a crawl space or if no blocking is allowed and the ground underneath must be excavated to make room for a crawl space for the plumbing?
 - i. Answer: The “no above grade foundations” applies to the “footings” for the block piers. All footings for the block piers must be below grade. No pressure bearing steel plates or “ABS pads” will be allowed on the project. The building is allowed to be on blocks with a bearing footing below grade to allow for a crawl space.

All other specifications, drawings, terms and conditions remain as required in the Contract Documents issued June 14, 2020.



CITY OF DURHAM
General Services Department
Project Management Division
2011 FAY STREET | DURHAM, NC 27704
919.560.4197 | F 919.560.4970
www.durhamnc.gov

Pre-Submittal Meeting Agenda

Project Name: Re-advertisement for Solid Waste Management Scale House and Breakroom
Meeting Location: 2115 Club Boulevard, Durham, NC
Meeting Time: November 5, 2020, 1:00 PM

1. Reminders – COVID-19 Safety, Attendance and Plan-holders log;
2. Roles and Responsibilities

- City of Durham General Services Department
Nia Rodgers - Project Manager
984-209-2671 (mobile)
nia.rodgers@durhamnc.gov

Henri Prosperi - Construction Management Division Manager
919-560-4197 ext. 21253
henri.prosperi@durhamnc.gov
- City of Durham Equity and Inclusion
Eric Miller – Equity Assurance or SIDNEY ANDERSON
919-560-4180 ext.17241
Eric.Miller@durhamnc.gov
SIDNEY.ANDERSON@DURHAMNC.GOV

3. Project Overview – Paul Young, DTW

4. Project Schedule – Nia Rodgers

- Questions in writing due by **5:00 PM, November 18, 2020** to
Drawing and technical specification inquiries should be directed to:
J. Paul Young, AIA, Project Architect
DTW Architects & Planners, Ltd.
919-697.7817-Cell / 919.317.4020-Office / Email: pyoung@dtwarch.com

Administrative question to: Nia Rodgers, nia.rodgers@durhamnc.gov
- Bids due by **3:00 PM, December 3rd, 2020** to
Nia Rodgers, nia.rodgers@durhamnc.gov
- Bid award anticipated late December
- Contractor under contract January
- Substantial Completion **180 days** from NTP. LDs apply as below.
Liquidated Damages #1:
The project involves the installation of utility lines across the front of the existing scales at the site. The owner will shut down the existing scales for two weekends during the

7/16/20



project duration. These weekends will not be consecutive in nature. The shutdowns will start at 5pm on Friday and last through 5pm on Sunday. The scales must be open on the Monday after each shut down by 7:30 am. To enforce this requirement, the City of Durham will impose liquidated damages in the amount of \$10,000 per day if any existing utilities are down or if the existing scales are unusable. The damages will be imposed immediately starting at 7:31 am on the impacted Monday.

Liquidated Damages #2:

For every day that the project extends beyond the date of substantial completion the City of Durham shall impose liquidated damages of \$500 per day.

5. Instructions for Bids – Nia Rodgers

- The project manual, which includes contract documents, and the project plans are available under **Construction Bids** on the City purchasing website: <https://durhamnc.gov/bids.aspx>. A General contracting license is required. Payment and Performance bonds will be required if price is greater than \$300,000.
- Bids must include:
 1. Bid Form
 2. Non-collusion affidavit
 3. Contractor Safety Record / Bidder Safety Evaluation Questionnaire
 4. COVID-19 Plan
 5. UBE Construction Forms: E-101, E-102 and E-104
- BID OPENING will not be public.

6. Equity and Inclusion Requirements and UBE Goals – Eric Miller

- Minority Business Enterprise (MUBE) – 0%
- Woman Business Enterprise (WUBE) – 7%
- UBE Construction Forms: E-101, E-102 and E-104

7. Bid Due Date/Time – Nia Rodgers

3:00 PM, December 3, 2020

BY EMAIL to nia.rodgers@durhamnc.gov

OR

The City of Durham General Services Department,
2011 Fay Street, Durham, NC 27704
Attention: NIA RODGERS

8. Questions?



GENERAL SERVICES

CITY OF DURHAM

**City of Durham, North Carolina
Project Title
Pre-Bid Meeting – Attendee Sign-In Sheet**

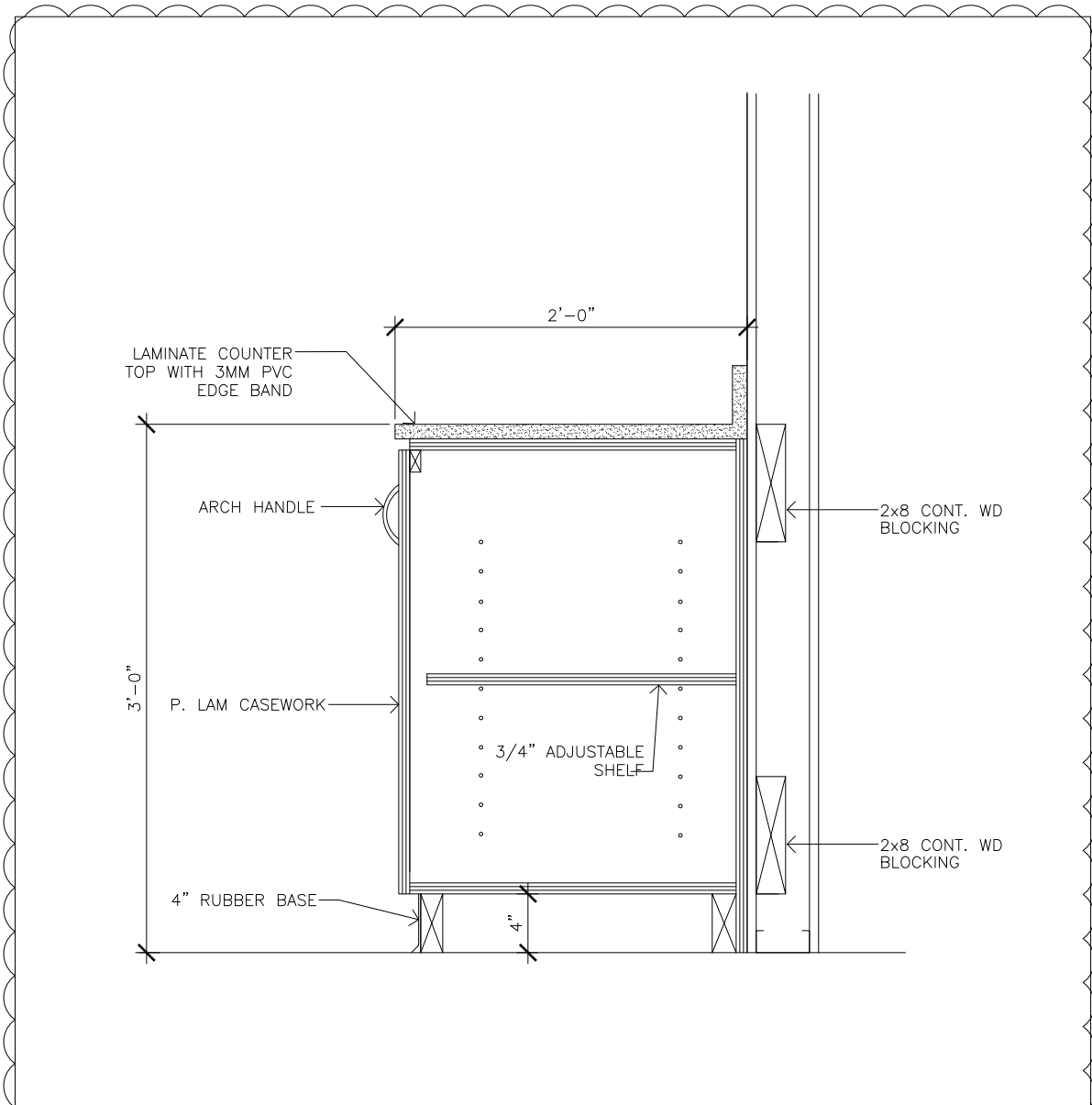
Date: Day, Month, at 2:00 pm

Location: Project address, Durham NC

				The City of Durham is evaluating UBE interest in City projects. If you are representing a UBE firm, please let us know the following information:		
Name	Company	Phone	Email	MUBE or WUBE?	Does this project interest you as a Prime or a Sub? (check one)	
					Prime	Sub
Damon Jones	Mutr	919-922-7568	Djones@mutrconstruction.com			
Sidney Anderson	City of Durham	919.540.4140	Sidney.Anderson@Durham.nc.gov			
Austin Riccio	BAR Construction	336-274-2477	Bid5@BARConstruction.com		X	
Austin Dailey	HM Kern corp	336-668-3213	Adailey@hmkern.com		X	
DAVE WILKINSON	Pro-Tech Const.	919-848-9035	dave@protechconstruction.net			X
Tyler Zagurski	Progressive Con.	336-411-5759	tzagurski@progressivecon.com		X	
Jordan Philiam	Central Builders	336-227-4551	jordan@centralbuildersinc.com		X	

				The City of Durham is evaluating UBE interest in City projects. If you are representing a UBE firm, please let us know the following information:		
Name	Company	Phone	Email	MUBE or WUBE?	Does this project interest you as a Prime or a Sub? (check one)	
					Prime	Sub
JOSH MORRIS	BRIDGEPOINT G.C.	(919) 943-6150	JMORRIS@BRIDGEPOINTINC.COM	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Brian Knower	Incline Construction	919-201-7896	rkpope@inclineconstruction.com		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Mike Higgins	Atlantic Corp Contractors	919-427-0673	MHiggins@ACC-GL.COM		<input checked="" type="checkbox"/>	<input type="checkbox"/>
KEVIN HARTZOG	CT WILSON	919-383-2535	kevin@ctwilson.com	NO	<input checked="" type="checkbox"/>	<input type="checkbox"/>
John Lambert	Atlantic Corporate Contractors	919-902-8272	jlambert@acc-gl.com		<input checked="" type="checkbox"/>	<input type="checkbox"/>





1
CASEWORK SECTION
 SCALE: 1" = 1'-0"

CASEWORK SECTION IS TYPICAL FOR ALL CASEWORK IN SCALE ROOM.

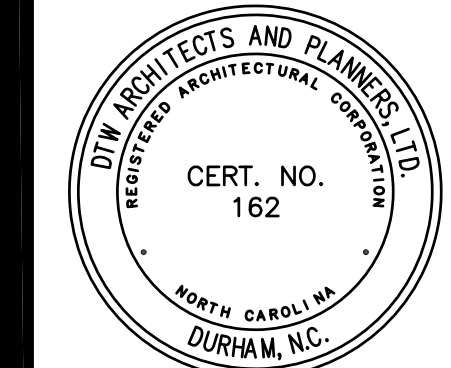
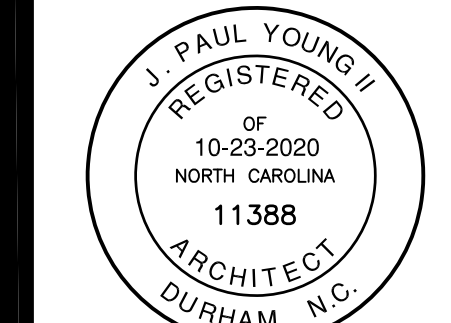
These drawings are instruments of service and as such remain the property of the architect. No copies or reproductions of these drawings are permitted without the consent of the architect. Upon completion of the work all the drawings (except the contract copies) are to be returned to the architect.
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**FLOOR PLAN
LIFE SAFETY PLAN
CAMERA & DATA LOCATION PLAN
DETAILS**

**CITY of DURHAM
SOLID WASTE
MANAGEMENT
SCALE HOUSE
& BREAKROOM**

1900 EAST CLUB BLVD
DURHAM, NC

PROJECT NUMBER:
19023



**DTW
Architects &
Planners, Ltd.**
 229 North Gregson Street
 Durham, NC 27701
 919.317.4020

BID & PERMIT DOCUMENTS

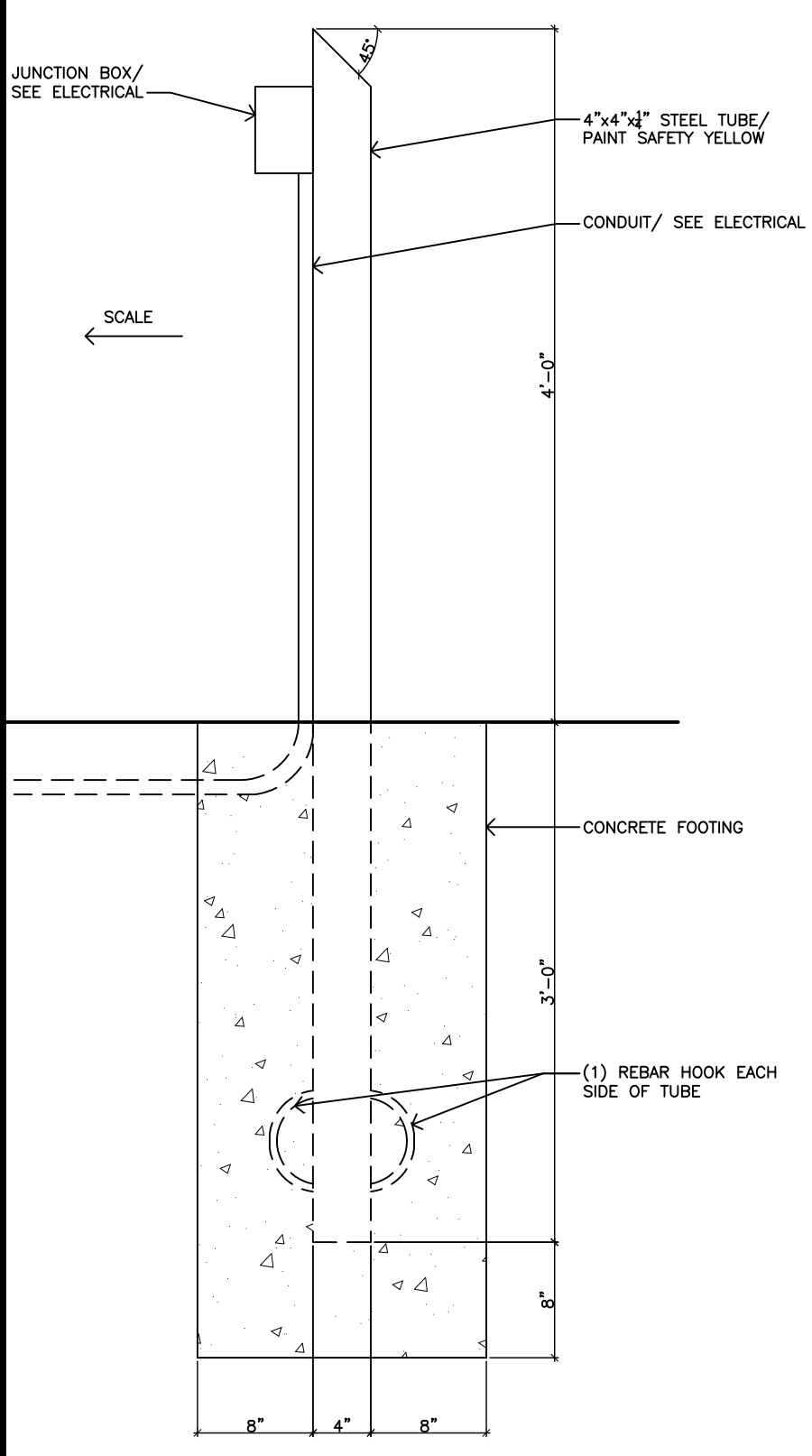
Revisions 11-23-2020

Drawn S.O.S.
 Checked J.P.Y.
 Date October 23, 2020
 Sheet

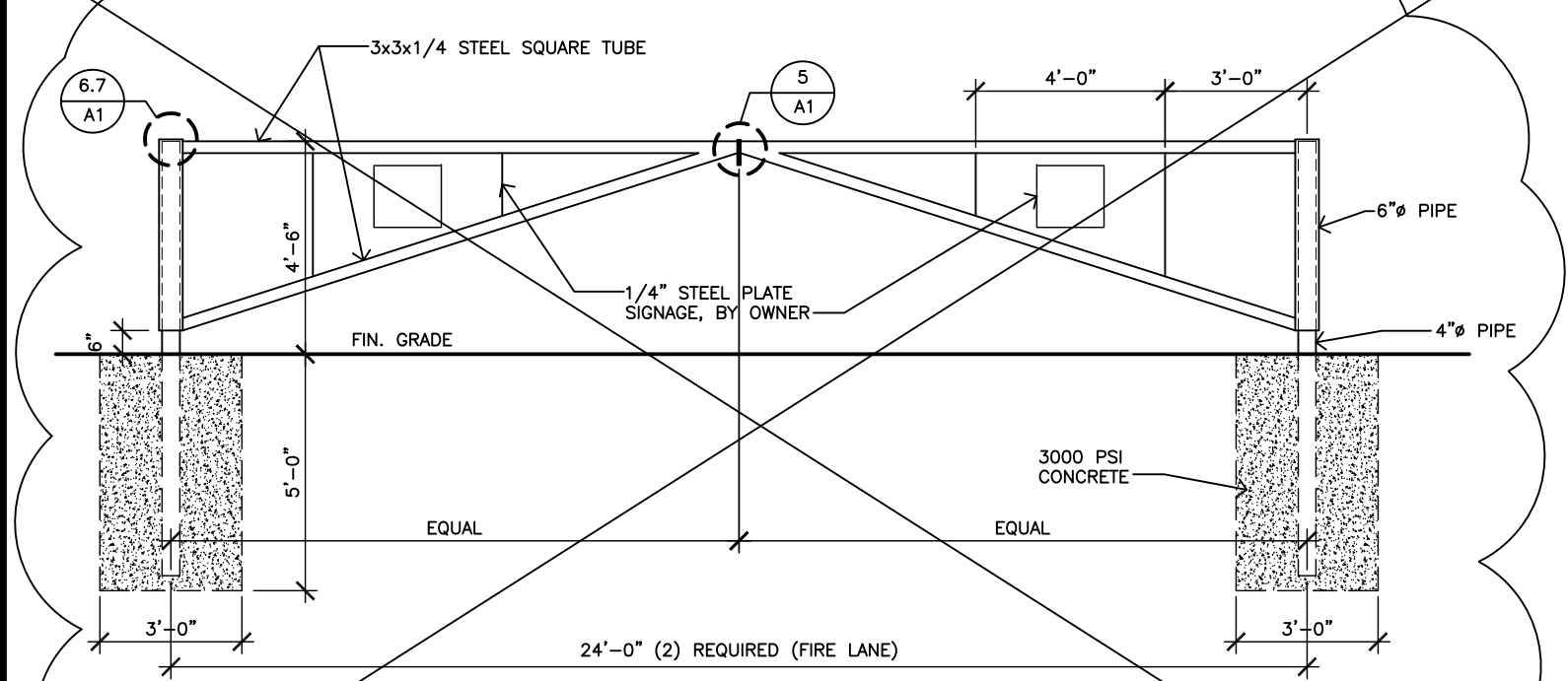
Of **A1**

GENERAL NOTES:

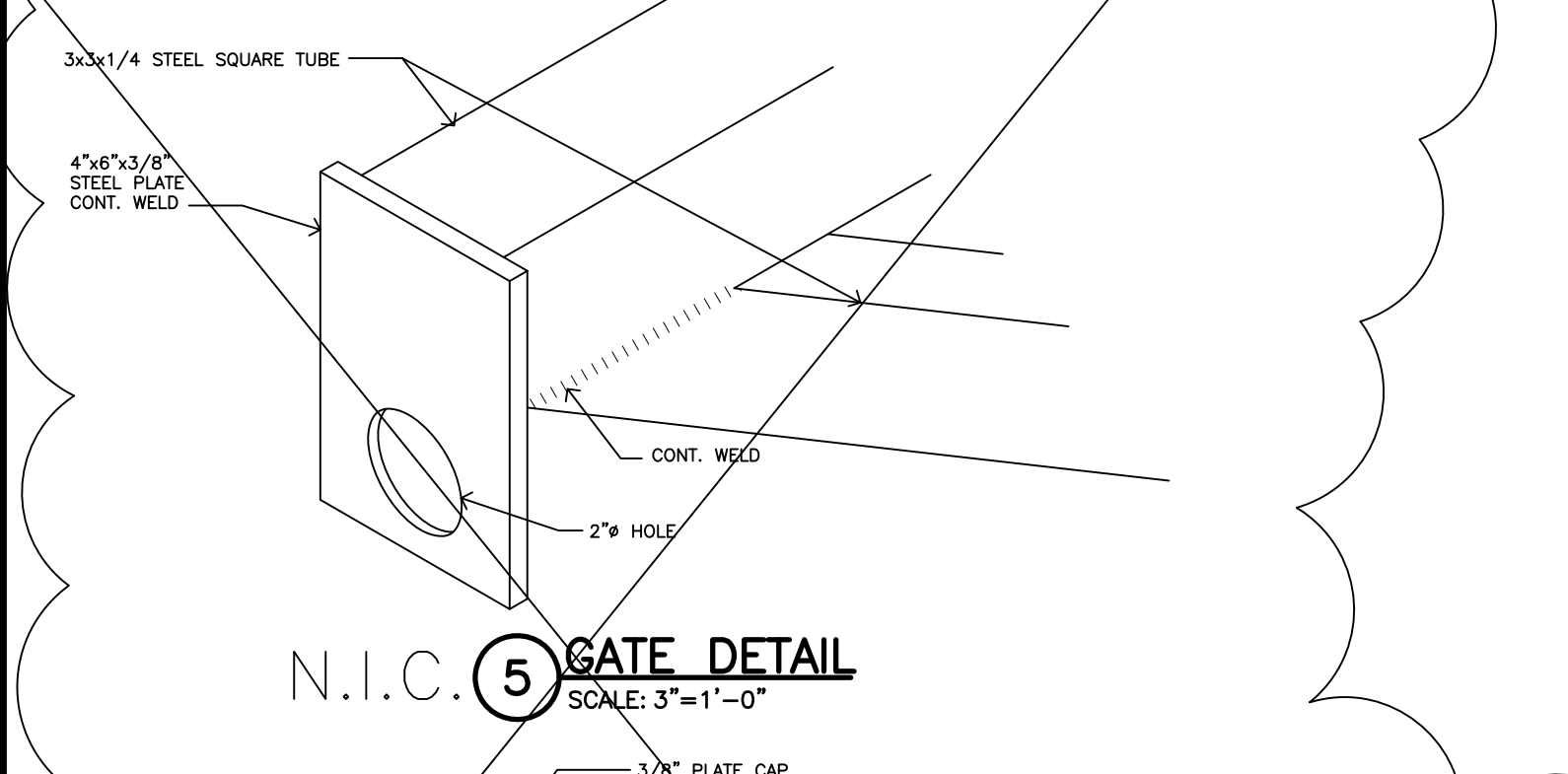
- 1) AS PART OF THE CONSTRUCTION CONTRACT, THE GENERAL CONTRACTOR SHALL: PURCHASE, INSTALL, ANCHOR AND FURNISH MODULAR UNIT, INCLUDING ALL EQUIPMENT AND FURNISHINGS INDICATED IN THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL FOUNDATION ELEMENTS AS REQUIRED.
- 2) SOME ADJUSTMENTS FOR GRADE BY G.C. MAY BE REQUIRED AS PART OF GENERAL CONTRACT.
- 3) CONTRACTOR MUST VERIFY ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES BEFORE BEGINNING CONSTRUCTION AND PROTECT AS REQUIRED.
- 4) G.C. SHALL REGRADE & RESEED ALL DISTURBED GRASS AREAS AFTER CONSTRUCTION. CONSULT A LANDSCAPING CONTRACTOR FOR PROPER TYPE OF SEED.
- 5) CONTRACTOR SHALL PROVIDE 4X5 ALUMINUM GUTTER ALONG BOTH LONG EDGES WITH (3) DOWNSPOUTS EACH SIDE. CONTRACTOR SHALL CONNECT DOWNSPOUTS TO EXISTING STORM DRAINAGE SYSTEM WITH SCHEDULE 40 CORRUGATED PIPING.
- 6) OWNER WILL PROVIDE 20 AND 40 YARD DUMPSTERS FOR CONTRACTOR USE ON SITE AND WILL SERVICE AS NEEDED THROUGHOUT THE ENTIRE PROJECT.
- 7) CONTRACTOR SHALL PROVIDE STANDARD A.D.A. ROOM SIGNAGE AS REQUIRED BY THE NC BUILDING CODE FOR THE TWO RESTROOMS.
- 8) OWNER TO PROVIDE TOILET PAPER, PAPER TOWEL & SOAP DISPENSERS FOR BOTH NEW AND EXISTING SCALES HOUSES. CONTRACTOR TO INSTALL IN BOTH LOCATIONS.



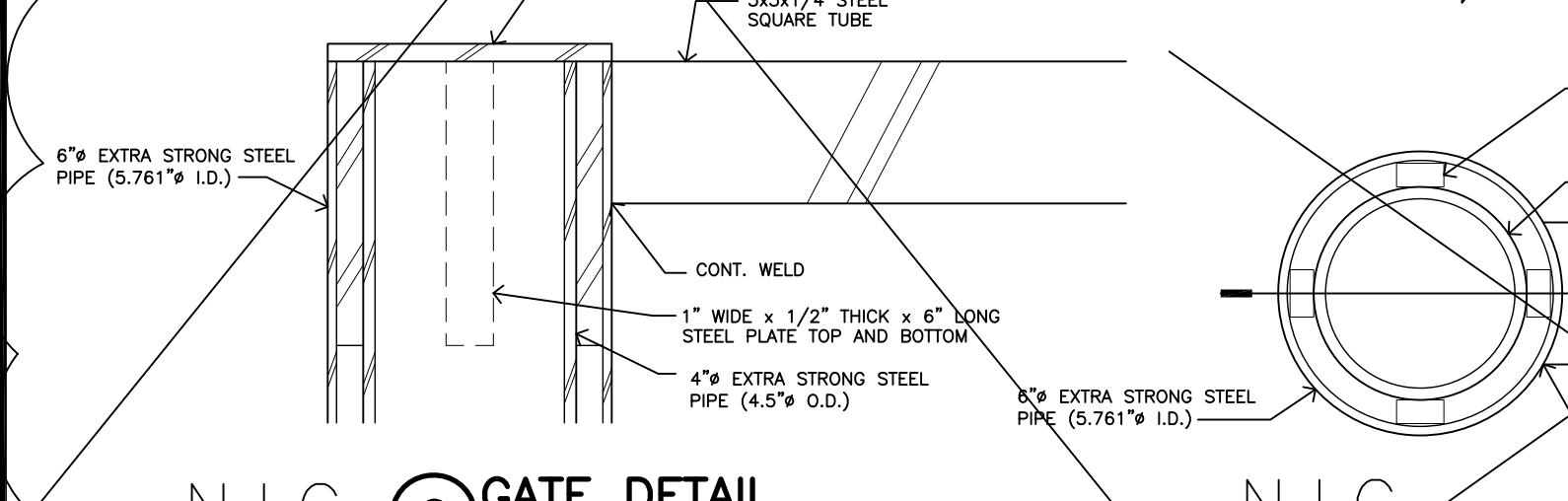
3 DETAIL
SCALE: 1"=1'-0"



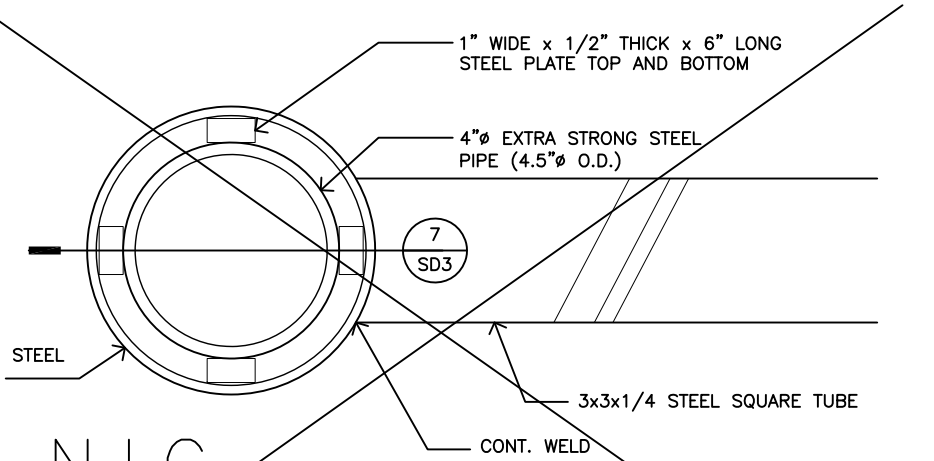
N.I.C. **4 VEHICULAR GATE**
SCALE: 1/4"=1'-0"



N.I.C. **5 GATE DETAIL**
SCALE: 3"=1'-0"



N.I.C. **6 GATE DETAIL**
SCALE: 3"=1'-0"

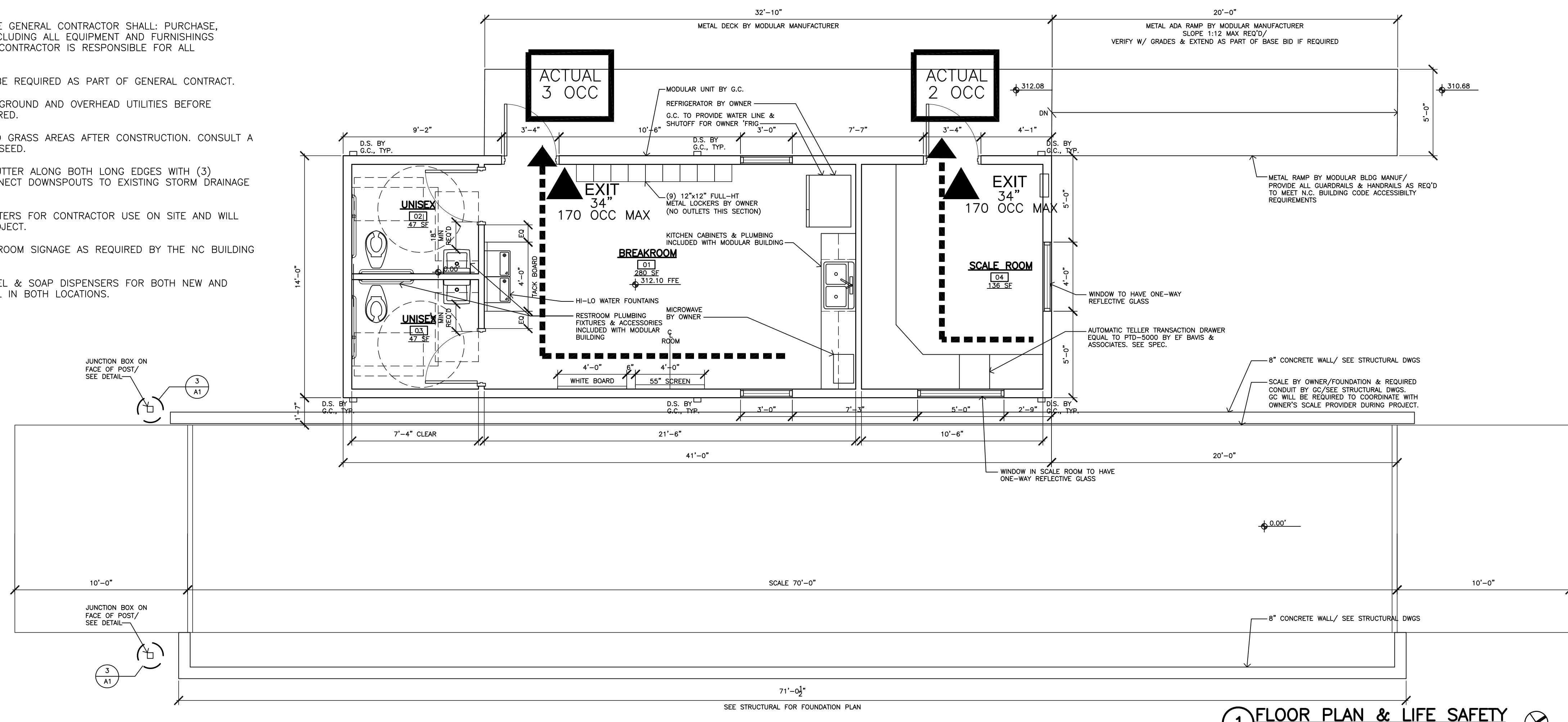


N.I.C. **7 GATE DETAIL**
SCALE: 3"=1'-0"

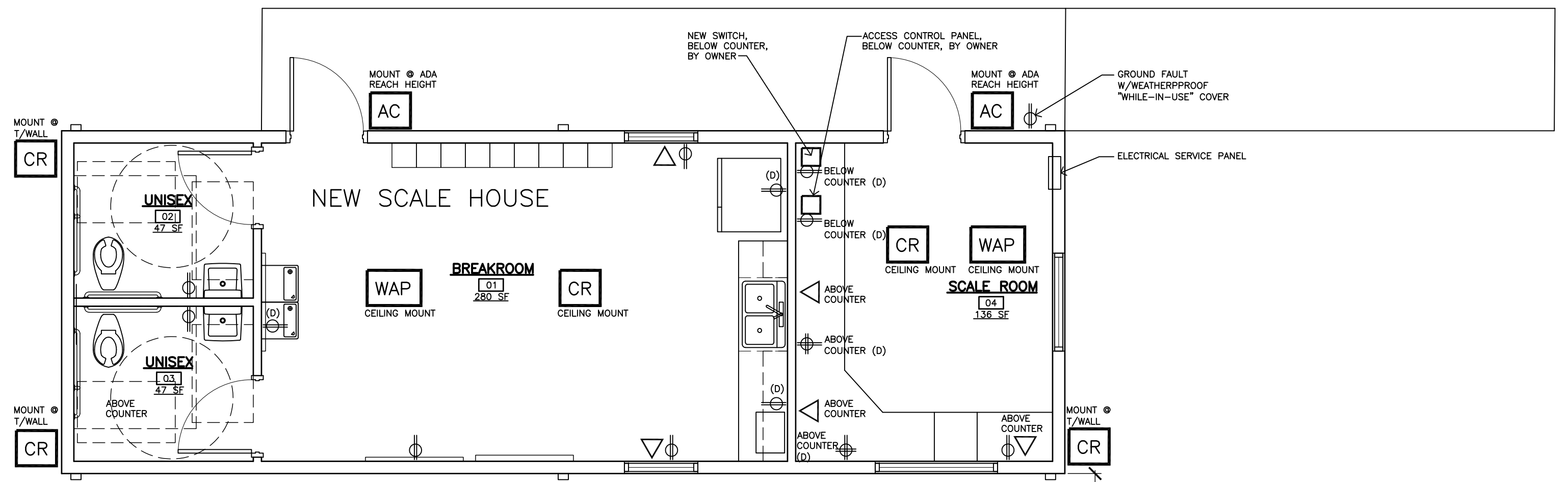
KEY PLAN:

NOTE: OUTLETS & JUNCTION BOXES SHOWN ON THIS PLAN SHALL BE INSTALLED DURING MANUFACTURING OF THE BUILDING BY THE MODULAR MANUFACTURER.

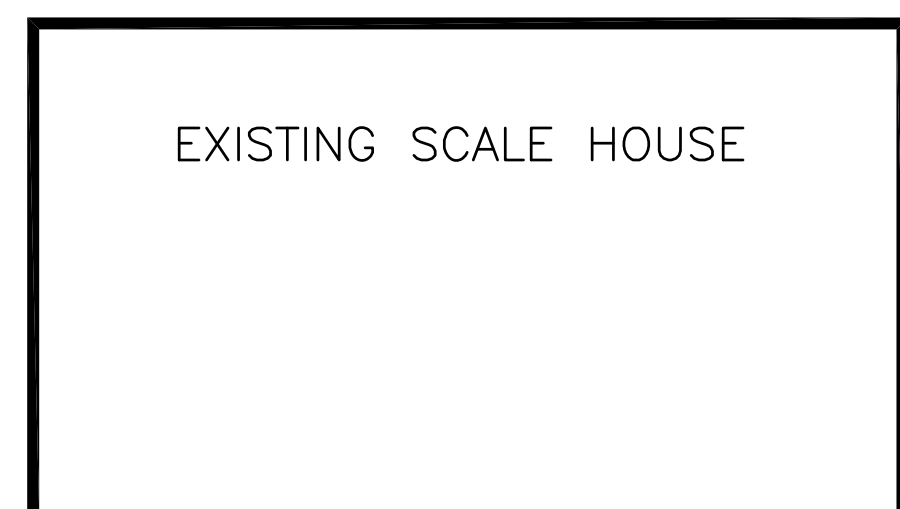
- CR** CAMERA LOCATION - PROVIDE (1) DOUBLE GANG JUNCTION BOX W/ 3" CONDUIT ROUTED FROM BOX TO SWITCH LOCATION IN SCALE ROOM. PROVIDE PULL STRING.
- AC** DOOR ACCESS CONTROL LOCATION - PROVIDE (1) SINGLE GANG JUNCTION BOX W/ 3" CONDUIT ROUTED FROM BOX TO SWITCH LOCATION IN SCALE ROOM. PROVIDE PULL STRING.
- WAP** WIRELESS ACCESS POINT LOCATION - PROVIDE (1) DOUBLE GANG JUNCTION BOX W/ 3" CONDUIT ROUTED FROM BOX TO SWITCH LOCATION IN SCALE ROOM. PROVIDE PULL STRING.
- DATA OUTLET** - PROVIDE (1) SINGLE GANG JUNCTION BOX W/ 3" CONDUIT ROUTED FROM BOX TO SWITCH LOCATION IN SCALE ROOM. PROVIDE PULL STRING.
- 110V ELECTRICAL OUTLET** TO BE INSTALLED PER ELECTRICAL CODE.
- QUAD 110V ELECTRICAL OUTLET** TO BE INSTALLED PER ELECTRICAL CODE.
- (D)** DEDICATED CIRCUIT BREAKER



1 FLOOR PLAN & LIFE SAFETY
SCALE: 1/4"=1'-0"



2 CAMERA, DATA & OUTLET LOCATION PLAN
SCALE: 1/4"=1'-0"



EXISTING SCALE HOUSE