



City Hall Improvements & Renovations, Town of Siler City: Addendum #1

DATE: December 1, 2020

Hobbs Architects, PA
159 West Salisbury Street
PO Box 1457
Pittsboro, North Carolina 27312

ADDENDUM #1:

TO: All bidders of record, which have received plans and specifications for the project referred to above.

This Addendum No. 1 forms a part of the Contract Documents and modifies the original Drawings and Specifications dated November 6, 2020 as noted below. Acknowledge receipt of this addendum in the space provided on the Bid Form. Failure to do so may subject bidder to disqualification.

This addendum consists of 25 pages, 8.5 x 11 inches in sheet size.

General:

- A. Pre Bid meetings were held on 11-25-2020 at the site and the minutes to these meetings are included in Addendum #1. The information contained in these minutes is hereby incorporated into the Construction Documents of the project.
- B. The Bid Date has been changed from 12-9-2020 to **12-16-2020**. The last day for questions will be December 9, 2020. All other bidding requirements remain the same, including the time and location of the bid.

Specification Sections:

- A. **Volume 1: Procurement and Contract Requirements (1st section on page TOC-1)**
 - Bid Form: Alternate #G-5 is to be deleted from the scope of the project, and Unit Price 'K' has been added. A new Bid Form is included in Addendum #1 and is to be used for the bid. Delete the Bid Form currently in the Project Manual.
 - Add the following to the Project Manual **and include these forms with the Bid Package**:
 - Form of Bid Bond
 - E-Verity Form
 - Iran Divestment form

B. Section 01 22 00 Unit Prices

- Under **3.1 LIST OF UNIT PRICES** add the following:

K. Unit Price No. 11: Six Panel, Solid Wood Door.

1. Purpose: Replacement cost if doors are not salvageable.
2. Unit of Measurement: One door, prepped for new hardware.
3. Include all materials & labor.
4. See Section 081413.

C. Section 01 23 00 Alternates

- Under **3.1 Schedule of Alternates** delete the following:

E. Add Alternate G-5: Renovations to the Elevator (this scope of work has been deleted from the scope of the project)

D. Section 06 20 23 Interior Finish Carpentry

- Under **1.2 SUMMARY A. 1. Interior standing and running trim** add the following:

“..., including door trims and casings.”

- Under **2.4 FABRICATIONS C.** replace existing with the following:

“Profiles: See Sheet A-803, A-804 and A-901 for typical profiles. Final profiles to be coordinated through shop drawings using existing profiles for matching.”

E. Section 06 42 16 Wood Paneling

- Add this Specification Section to the Project Manual under Division 06

F. Volume II: Division 32 Exterior Improvements: Delete the following sections:

- 32 01 01 Landscape Maintenance and Warranty
- 32 90 01 Common Planting Requirements
- 32 91 13 Finish Grading and Soil Preparation
- 32 92 01 Permanent Seeding
- 32 92 23 Sodding
- 32 95 00 Landscape Metal Edging

Questions:

- *Any idea who the fire alarm company who installed and maintains existing system is?*

United Fire and Safety out of Goldston (919) 898-4336



- *Any Idea where the teledata terminates?*
 - The data rack is located in Finance 114 on the First Floor
- *Can a site visit be arranged?*
 - Please contact Chris McCorquodale for a site visit at (919) 742-4731.
- *Provide more information than shown on page 3 of 09 72 00; that is the collection but no pattern is specified. Pricing per pattern can differ as well as lead time in ordering.*
 - Contractor is directed to match existing/adjacent pattern based on location within building.
- *Can the following information be provided on the existing panel MSB, so new 225 amp breaker can be provided, per drawing E-401?*
 - Manufacturer: *Square D*
 - Nameplate Data (such as serial number): *CAT # 42-78543-3041*
 - Type of existing circuit breakers in panel: *The original breakers are not labeled. A newer 225A Square D Q232225 breaker is installed in the panel.*
- *What is the width of existing panel F, which needs to be replaced in same location, per drawing ED103, Key Note 4?*
 - *Existing panel F is approximately 14-1/2" wide.*

End of Addendum #1



Siler City: City Hall Improvements & Renovations

Pre-Bid Meeting Minutes

November 25, 2020

City Hall, Courtroom

311 North Second Street

Meeting was held in four sessions due to COVID-19 regulations: 8:30am, 10:00am, 1:00pm, 2:30pm. Attendance sheets are attached.

1. Introductions

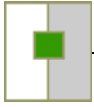
- Architecture Team – Hobbs Architects: Kristy Bardwell, Taylor Hobbs
- Engineering Team – SKA Engineering: Kenzie McCollum (morning sessions only)
- Owner's Representative: Chris McCorquodale, Public Works and Utilities Director

2. Project Overview

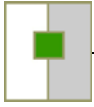
- City Hall Improvements and Renovations: Interior renovations to portions of the 3-level building which is on the National Register of Historic Places. Work includes selective demolition, new walls, elevator modification, new finishes, new or modified P.M.E. systems, and site improvements.
- This is a phased project in an occupied building but occupants will be in a limited area. The contractor will be required to provide a schedule for owner approval prior to the start of construction that sets the construction schedule for both Phase 1 and Phase 2. The subsequent schedule will be updated at each monthly meeting for the project and will be relied on by the owner and designers for overall project scheduling. The G.C. will be responsible for scheduling Phase 1 & Phase 2 inspections with the Chatham County Central Permitting Office to allow for staff and agency relocations within the building.
- Project is single-prime bid.

3. Project Bid Date was previously published as Wednesday December 9, 2020 and discussed as such in pre-bid meetings. During the 2:30pm session, the bid date was delayed to Wednesday December 16, 2020 due to the holidays. **The bid opening will take place on Wednesday, December 16, 2020 in the Siler City City Hall Courtroom at 311 North Second Avenue at 3pm.**

- Bids will be effective for 90 days. Contractors are to advise Hobbs Architects of any bonding issues with this schedule.
- The bid will be live-streamed via Zoom.
- Bid Award Date is anticipated January 4, 2021 at the regularly scheduled Board of Commissioners meeting.



4. Documents are available through Planscope (digital and physical sets; refundable \$150 plan deposit plus shipping fees, you may provide FedEx/UPS accounts)
5. Project time:
 - Construction to begin in Early 2021 once the Owner has relocated occupants from the PHASE ONE area of renovation. A Notice To Proceed will be issued.
 - Project Construction Length: 270 consecutive calendar days or 9 months from NTP. The contractor is responsible for establishing the schedule/length of each phase.
 - Liquidated damages are \$750.00 per day for each day up to 15 calendar days that the substantial completion is delayed and \$1,000 per day should the contractor delay in achieving Substantial Completion by more than 15 days after the time allowed by this contract.
 - Refer to the Project Manual for additional information.
6. Contractors are advised to keep track of weather days. Additional time will be approved based on days in excess of historical data only. A specific weather station will be established during contract execution to establish basis of weather day evaluation. There is some sitework with this project but critical path delays are not anticipated.
7. Bidders are requested to address questions to kristy@hobbsarchitects.com and thobbs@hobbsarchitects.com. Bidders are requested to send questions/substitution requests as early as possible to reduce and simplify late addenda.
 - **Last day for questions has been revised to Wednesday December 9, 2020 for an Addendum issue of Thursday December 10, 2020 (one week prior to bid).**
8. General Contractor is responsible for obtaining all Chatham County building permits. The GC is to pay for the cost of the building permit included in the bid. This also includes any individual permits that may be required by the Town of Siler City.
9. Temporary Facilities requirements:
 - Electricity Owner Provided
 - Water Owner Provided
 - Toilets Contractor Provided
 - Construction office Contractor Provided, or can be set up within work areas of project.
10. Lay down areas and parking areas are confined to Limits of Construction as indicated on civil plans until further notice. Contractors will have 24-hour, 7-day per week access to the portion of the building being worked in per Phase. Contractors are asked to be respectful to Town operations and coordinate loud/demolition work with the Town.
11. Existing materials within the area of renovation have been found to contain asbestos and lead based on an inspection by an environmental health and safety professional. This report is included in the project manual. The flooring tested and identified in the report is to remain in place and be covered with new flooring. Some areas with lead paint may be demolished, and related to dust control the construction includes several locations where demolishing or cutting of CMU block or the original granite walls are specified. These operations will generate airborne dust. Control of such dust should



be by establishing a temporary sheet poly tent with a HEPA filtered air mover inside, with air exhausted outside the building, at each of the locations where these operations are conducted. Refer to hazardous materials report in the Project Manual.

12. Bidders are encouraged to review the Bid Form and associated required documents. A Bid Bond form will be issued under Addendum #1 along with minutes from this meeting.

- MBE participation. It is noted that the goal for the Town of Siler City is 10% minority participation.
- E-verify and Iran Divestment forms are required as part of the Construction Contract and should be included with your bids.

13. Bid Alternates per specification section 012300: (see Project Manual for detailed descriptions)

G-1: New Windows to Replace Existing Windows

G-2: Provide New ADA Lift at Rear Entrance of Building

G-3: Interior Signage Package

G-4: New Flooring, Transaction Windows, and New Paint to LPA (License Plate Agency)

~~G-5: Renovations to the Elevator~~ **REMOVED FOLLOWING THE MEETING. THIS SCOPE OF WORK HAS BEEN DELETED FROM THE PROJECT.**

G-6: New Finishes Installed in the 2nd Floor Courtroom and Stair Tower 1

G-7: New Finishes Installed in Planning Office Suite and Finance Office Suite

G-8: Provide Accordion Folding Partition in Conference 103

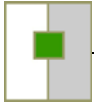
G-9: Provide Terrazzo Tile at the First Floor Lobby and Corridors

G-10: Provide Horizontal Louver Blinds at all Exterior Windows

14. Items to note:

- The License Plate Agency (tenant located on ground floor/basement level) must remain operable throughout the duration of this project.
- This building is on National Register of Historic Places. Please be respectful of historic items during demolition. Refer to specifications for procedures.

15. All contractors were provided the same tour of the project site



Questions Received during Meeting from Contractors

1. Can subcontractors visit the site following this meeting?
 - a. Yes, all visits must be coordinated with Chris McCorquodale, Director of Public Works and Utilities: 919.742.4732 or cmccorquodale@silercity.org
2. Is there federal funding?
 - a. No
3. What is the MBE goal of the Town?
 - a. 10%
4. What are the work hours considering there is a church across the street?
 - a. 24 hours/7 days per week according to each phase, with loud and vibrational work being coordinated with the Owner
5. What is the cutoff date for questions?
 - a. This date has been revised to Wednesday, December 9, 2020.
6. Can the bid date be extended due to the holidays?
 - a. Yes, the bid date has been changed to Wednesday, December 16, 2020.
7. Will there be any new penetrations through the roof?
 - a. No new penetrations

SIGN IN SHEET - Pre Bid Meeting

1

Project: **City Hall Improvements & Renovations**Date: **November 25, 2020**

8:30AM

	NAME	ORGANIZATION	TELEPHONE	E-MAIL ADDRESS
1	Isaac Ellington	Ellington Contracting, Inc.	919-548-1132	isaac.eccontracting@gmail.com
2	Daniel Granzlyk	C.T. Wilson Construction	336-500-1979	daniel.granzlyk@ctwilson.com
3	TONY JORDAN	RESOLUTE INC	919-933-1000	ESTIMATING@RESOLUTEINC.COM
4	ANTHONY VOGT	A Vogt Construction	336-420-8623	anthony@avogtconstruction.com
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SIGN IN SHEET - Pre Bid Meeting

2

Project: City Hall Improvements & Renovations

Date: November 25, 2020

10:00 AM

	NAME	ORGANIZATION	TELEPHONE	E-MAIL ADDRESS
1	Ron Kiser	S+S Building + Dev.	336-808-1328	RKiser@SandSbuilding.com
2	Hickam Moulden	S+S Building + Dev	336-808-1328	hmoulden@SandSbuilding.com
3	Brad Bowling	Bordeaux Construction	919-270-1141	estimating@bordeauxconstruction.com
4	Mark Ferris	ACH Constructors	919-484-9550	MarkF@ACHConstructors.com
5	BRUCE GUARWI	BAR CONSTR. Co.	336-274-2477	BIDS@BARCONSTRUCTION.COM
6	JAKE TSANMAN	Muter Construction	919-404-8530	LHAGER@muterconstruction.com
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SIGN IN SHEET - Pre Bid Meeting

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Project: City Hall Improvements & Renovations

Date: November 25, 2020

1:00 PM

	NAME	ORGANIZATION	TELEPHONE	E-MAIL ADDRESS
1	Jamie Dean	TCC Enterprises Inc	919-496-3111	Jamiedean.tcc@gmail.com
2	David Thomas	TCC Enterprises Inc	919-496-3111	Davidthomas.tcc@gmail.com
3	Tim O'Connell	NFO Corporation	919-397-6474	TOConnell@NFOcorporation.com
4	Ayka McLaughlin	ASJ Wilson Construction	(336)272-7722	ayka@asjwilsonconstruction.com
5	Jordan Pulliam	Central Builders Inc. of Mebane	336-227-4551	jordan@centralbuildersinc.com
6	BOB LASH	PROGRESSIVE CONTRACTORS	919-718-5454	BLASH@PROGRESSIVECCI.COM
7	Jonathan Best	IMEC Group	919 604 3779	jbest@imecgroupllc.com
8	PAUL FARRER	HARROD & ASSOC. CONST. INC	919-828-7782	estimating@harrodandassoc.com
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SIGN IN SHEET - Pre Bid Meeting

4

Project: City Hall Improvements & Renovations

Date: November 25, 2020

2:30 PM

	NAME	ORGANIZATION	TELEPHONE	E-MAIL ADDRESS
1	Tamara Casuso	EMR Services Inc	336-880-6856	emr services 19@gmail.com
2	Santiago Chavez	" "	919-587-6855	" "
3	Travis Langley	Lomax Construction	336-992-7000	mharvell@lomaxconstruction.com
4	JASON KEPLEY	HM KERN	336-668-3213	jkepley@hmkern.com
5	Avery Harper	Cloud CM LLC	252-245-0306	aharper@thecloudcm.com
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**CITY HALL IMPROVEMENTS & RENOVATIONS
TOWN OF SILER CITY**

BID FORM

To: Jenifer Johnson
Town Clerk
Town of Siler City
311 North Second Street
Siler City, NC 27344

1. Pursuant to and in compliance with the invitation to bid and the proposed Contract Documents relating to the 2020 City Hall Improvements & Renovations, Siler City, North Carolina including Addenda _____ the undersigned, having become thoroughly familiar with the work, and having fully inspected the site in all particulars, hereby proposes and agrees to fully perform general construction within the times stated and in strict accordance with the proposed Contract Documents, including furnishing any and all labor and materials, and doing all the work required to construct and complete said work in accordance with the Contract Documents, for the following sum of money:

2. **BASE BID – SINGLE PRIME CONTRACT**

All labor, materials, services and equipment necessary for completion of the City Hall Improvements & Renovations, Siler City, North Carolina as shown on the Drawings and in the Specifications dated 11.06.2020 including Addenda _____.

BASE BID:

Dollars (\$) _____

List of subcontractors included in the Base Bid:

HVAC _____

Electrical _____

Plumbing _____

3. **ALTERNATES:**

Should any of the alternates as described in the Contract Documents be accepted, the amount written below shall be the amount to be "added to" or "deducted from" the Base Bid. (Strike out "Add" or "Deduct" as appropriate).

A. ADD Alternate #G-1: New Windows to Replace Existing Windows

The total cost (ADD) to provide all labor, materials, services and equipment required to remove existing windows and provide new windows as shown on the drawings and described in Specifications 08 53 13.

ADD: _____ Dollars \$ _____

**CITY HALL IMPROVEMENTS & RENOVATIONS
TOWN OF SILER CITY**

BID FORM

B. ADD Alternate #G-2: Provide New ADA Lift at Rear Entrance of Building

The total cost (ADD) to provide all labor, materials, services and equipment required to install the ADA lift on the West Side of the building (Plan North). This work is shown on sheet A-601 of the Architectural Drawings and described in Specification Section 14 20 00. All electrical rough-in and structural preparation for the lift is to be included in the base bid.

ADD: _____ Dollars \$ _____

C. ADD Alternate #G-3: Interior Signage Package

The total cost (ADD) to provide interior signage package as schedule and shown on Sheets A-903 and A-904 of the Drawings and described in Specification 10 14 23. There is a limited Base Bid Signage Package. See Schedules.

ADD: _____ Dollars \$ _____

D. ADD Alternate #G-4: New Flooring, Transaction Windows, and New Paint to LPA (License Plate Agency)

The total cost (ADD) to replace existing carpet tile and add LVP as indicated on Finish Floor Plan A-803, replace transaction windows, and provide new paint within the License Plate Agency suite on the Ground Floor of the Building as shown in the Architectural drawings.

ADD: _____ Dollars \$ _____

E. ADD Alternate #G-5: Not used- this alternate has been deleted

F. ADD Alternate #G-6: New Finishes Installed in the 2nd Floor Courtroom and new Stair Treads in East side two stairs

The total cost (ADD) to paint and replace interior finishes as shown on Sheet A-803 and A-804 of the drawings. Work includes, but is not limited to, new rubber treads and risers, LVP landings, miscellaneous drywall repair, new paint, new carpet, and new wood trim.

ADD: _____ Dollars \$ _____

**CITY HALL IMPROVEMENTS & RENOVATIONS
TOWN OF SILER CITY**

BID FORM

**G. ADD Alternate #G-7: New Finishes Installed in Planning Office Suite and
Finance Office Suite**

The total cost (ADD) to paint all walls and replace existing carpet with new LVP flooring as shown on Sheets A-803 and A-804 of the drawings. Work includes, but is not limited to, new rubber base, new transitions, new LVP flooring, patching as needed, and new paint.

ADD: _____ Dollars \$ _____

H. ADD Alternate #G-8: Provide Accordion Folding Partition in Conference 103

The total cost (ADD) to provide all labor, materials, services and equipment required to provide new Accordion Folding Partition at Conference 103 as shown on the drawings and described in Specification 08 53 13.

ADD: _____ Dollars \$ _____

**I. ADD Alternate #G-9: Provide Terrazo Tile at the First Floor Lobby and
Corridors**

The total cost (ADD) to provide all labor, materials, services and equipment required to provide new flexible terrazzo tile at the First Floor Lobby and Corridors as shown on the drawings and described in Specification 09 66 16. This cost shall include a credit for LVP described under the base bid on Sheet A-804.

ADD: _____ Dollars \$ _____

J. ADD Alternate #G-10: Provide Horizontal Louver Blinds at all Exterior Windows

The total cost (ADD) to provide all labor, materials, services and equipment required to provide new window blinds at all exterior windows shown on the drawings and described in Specification 12 21 13.

ADD: _____ Dollars \$ _____

**CITY HALL IMPROVEMENTS & RENOVATIONS
TOWN OF SILER CITY**

BID FORM

4. UNIT PRICES:

Unit prices quoted and accepted shall apply throughout the life of the Contract, except as otherwise specifically noted. Unit prices shall be applied, as appropriate, to compute the total value of changes (increases and deductions) in the scope of the work all in accordance with the Contract Documents.

A. **Unit Price No. 1:** Rock removal in Open Areas (Mass Rock) and disposal off-site

_____ (\$ _____)

B. **Unit Price No. 2:** : Rock removal in Trenches and Pits (Trench Rock) and disposal off-site.

_____ (\$ _____)

C. **Unit Price No. 3:** Unsuitable soils removal and disposal off-site.

_____ (\$ _____)

D. **Unit Price No. 4:** Unsuitable soils removal and disposal on-site.

_____ (\$ _____)

E. **Unit Price No. 5:** Replacement of authorized excavation of unsuitable soils or rock with off-site suitable compacted fill.

_____ (\$ _____)

F. **Unit Price No. 6:** Replacement of authorized excavation of unsuitable soils or rock with on-site suitable compacted fill.

_____ (\$ _____)

G. **Unit Price No. 7:** Replacement of authorized excavation of unsuitable soils or rock with compacted Aggregate Base Course (ABC) stone material

_____ (\$ _____)

H. **Unit Price No. 8:** Replacement of authorized excavation of unsuitable soils or rock with #57 Washed Stone material.

_____ (\$ _____)

**CITY HALL IMPROVEMENTS & RENOVATIONS
TOWN OF SILER CITY**

BID FORM

I. **Unit Price No. 9:** Replacement of Existing Suspended Acoustical Ceiling Tiles in Existing Suspended Grids.

_____ (\$ _____)

J. **Unit Price No. 10:** Grind Concrete Window Sill

_____ (\$ _____)

K. **Unit Price No. 11:** Six Panel, Solid Wood Door

_____ (\$ _____)

5. TERMS:

1. I understand that the Owner reserves the right to reject this bid, but that this bid shall remain open and shall not be withdrawn for a period of ninety (90) days from the date prescribed for its opening.
2. If written notice of the acceptance of this bid is mailed or delivered to the undersigned within thirty days after the date set for the opening of this bid, or at any other time thereafter before it is withdrawn, the undersigned will execute the deliver the Contract Documents to the Owner in accordance with this bid as accepted, and will show proof of insurance coverage, all within fifteen days after receipt of the notification of acceptance of this bid.
3. Notice of acceptance or request for additional information may be addressed to the undersigned at the address set forth below.
4. The names of all persons interested in the foregoing bid as principal are:

licensed in accordance with an act providing for the registration of contractors, license number.

SIGN HERE: _____

NOTE: If bidder is a corporation, set forth the legal name of the corporation together with the signature of the officer or officers authorized to sign contracts on behalf of the corporation. If bidder is a partnership, set forth the name of the firm together with the signature of the partner or partners authorized to sign contracts on behalf of the partnership.

Business Address : _____

Telephone Number: _____

Date of Proposal: _____

FORM OF BID BOND

KNOW ALL MEN BY THESE PRESENTS THAT _____

_____ as principal, and _____, as surety, who is duly licensed to act as surety in North Carolina, are held and firmly bound unto Chatham County as obligee, in the penal sum of _____ DOLLARS, lawful money of the United States of America, for the payment of which, well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

Signed, sealed and dated this ____ day of ____ 20__

WHEREAS, the said principal is herewith submitting proposal for and the principal desires to file this bid bond in lieu of making the cash deposit as required by G.S. 143-129.

NOW, THEREFORE, THE CONDITION OF THE ABOVE OBLIGATION is such, that if the principal shall be awarded the contract for which the bid is submitted and shall execute the contract and give bond for the faithful performance thereof within ten days after the award of same to the principal, then this obligation shall be null and void; but if the principal fails to so execute such contract and give performance bond as required by G.S. 143-129, the surety shall, upon demand, forthwith pay to the obligee the amount set forth in the first paragraph hereof. Provided further, that the bid may be withdrawn as provided by G.S. 143-129.1

_____(SEAL)

_____(SEAL)

_____(SEAL)

_____(SEAL)

_____(SEAL)

Siler City, North Carolina
E-VERIFY ADDENDUM

CONTRACTOR/VENDOR agrees that it shall comply with the requirements of Article 2 of Chapter 64 of the General Statutes. Further, if CONTRACTOR/VENDOR utilizes a subcontractor, CONTRACTOR/VENDOR agrees that it shall require the subcontractor to comply with the requirements of Article 2 of Chapter 64 of the General Statutes.

Dated this the _____ day of _____, _____.

Contractor/Vendor

Title

Siler City, North Carolina
IRAN DIVESTMENT ACT CERTIFICATION

Vendor/Contractor Name: _____

**IRAN DIVESTMENT ACT CERTIFICATION
REQUIRED BY N.C.G.S. 147-86.59**

As of the date listed below, the entity listed above is not listed on the Final Divestment List created by the State Treasurer pursuant to N.C.G.S. 147-86.58.

The undersigned hereby certifies that he/she is authorized by the entity listed above to make the foregoing statement

Signature

Date

Printed Name

Printed Title

SECTION 064216 - WOOD PANELING (ADDED UNDER ADDENDUM #1)

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Wood paneling (wood-veneer wall surfacing).
- B. Related Requirements:
 - 1. Section 061000 Rough Carpentry for wood furring, blocking, shims, and hanging strips required for installing paneling that is concealed within other construction before paneling installation.
 - 2. Section 062023 Interior Finish Carpentry for running and standing trim, including door casing.
 - 3. Section 099123 Interior Painting for final finishing of paneling.

1.3 COORDINATION

- A. Coordinate sizes and locations of framing, blocking, furring, reinforcements, and other related units of Work specified in other Sections to ensure that paneling can be installed as indicated.

1.4 PREINSTALLATION MEETINGS

- A. Preinstallation Conference: Conduct conference at Project site.

1.5 ACTION SUBMITTALS

- A. Product Data: For each type of product.
 - 1. Include data for sheet product and any adhesives.
- B. Shop Drawings: For flush wood paneling.
 - 1. Include plans, elevations, sections, and attachment details.
 - 2. Show details full size.
 - 3. Show locations and sizes of furring and blocking, including concealed blocking specified in other Sections.

- C. Samples: For each exposed product and for each color and finish specified, in manufacturer's or fabricator's standard size.
- D. Samples for Initial Selection: For each type of exposed finish.
- E. Samples for Verification: For the following:
 - 1. Veneer-Faced Panel Products for Transparent Finish: 12 by 12 inches for each species and cut. Include at least one face-veneer seam and finish as specified.

1.6 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For Installer.
- B. Product Certificates: For each type of product.

1.7 QUALITY ASSURANCE

- A. Fabricator Qualifications: Shop that employs skilled workers who custom-fabricate products similar to those required for this Project and whose products have a record of successful in-service performance.
- B. Installer Qualifications: Fabricator of products
- C. Mockups: Build mockups to verify selections made under Sample submittals, to demonstrate aesthetic effects, and to set quality standards for materials and execution.
 - 1. Build mockups of typical paneling as shown on Drawings and to match existing wainscot paneling within building.
 - 2. Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

1.8 DELIVERY, STORAGE, AND HANDLING

- A. Do not deliver paneling until painting and similar operations that might damage paneling have been completed in installation areas. Store paneling in installation areas or in areas where environmental conditions comply with requirements specified in "Field Conditions" Article.

1.9 FIELD CONDITIONS

- A. Environmental Limitations without Humidity Control: Do not deliver or install paneling until building is enclosed, wet-work is complete, and HVAC system is operating and will maintain temperature and relative humidity at levels planned for building occupants during the remainder of the construction period.
- B. Environmental Limitations with Humidity Control: Do not deliver or install paneling until building is enclosed, wet-work is complete, and HVAC system is operating and will maintain temperature between 60 and 90 deg F and relative humidity as required by manufacturer during the remainder of the construction period.

- C. Field Measurements: Where paneling is indicated to fit to other construction, verify dimensions of other construction by field measurements before fabrication and indicate measurements on Shop Drawings. Coordinate fabrication schedule with construction progress to avoid delaying the Work.
 - 1. Locate concealed framing, blocking, and reinforcements that support paneling by field measurements before being enclosed/concealed by construction and indicate measurements on Shop Drawings.
- D. Established Dimensions: Where paneling is indicated to fit to other construction, establish dimensions for areas where woodwork is to fit. Provide allowance for trimming at site, and coordinate construction to ensure that actual dimensions correspond to established dimensions.

PART 2 - PRODUCTS**2.1 PANELING FABRICATORS**

- A. Source Limitations: Engage a qualified woodworking firm to assume undivided responsibility for production of paneling.
- B. Fabricators: Subject to compliance with requirements, available fabricators offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1. State Industries
 - 2. Murphy Plywood
 - 3. Roseburg

2.2 PANELING, GENERAL

- A. Quality Standard: Unless otherwise indicated, comply with the "Architectural Woodwork Standards" for grades of flush wood paneling (wood-veneer wall surfacing) indicated for construction, finishes, installation, and other requirements.

2.3 WOOD PANELING (WOOD-VENEER WALL SURFACING)

- A. Grade: Premium
- B. Wood Species and Cut for Veneer: Cherry, plain sliced or identical match to existing panels.
- C. Provide Basis-of-Design product Ambassador ¼", Stateline ¼", or similar
 - 1. Groove Pattern: Orangeburg or closest match to existing.
 - 2. Groove type: Match existing in size
 - 3. Core: Plywood to match existing
- D. Assemble panels by gluing and concealed fastening.

2.4 MATERIALS

- A. Materials, General: Provide materials that comply with requirements of referenced quality standard for each quality grade specified unless otherwise indicated.
- B. Composite Wood Products: Provide materials that comply with requirements of referenced quality standard for each quality grade specified unless otherwise indicated.
 - 1. Particleboard (Medium Density): ANSI A208.1, Grade M-2
 - 2. Veneer-Faced Panel Products (Hardwood Plywood): HPVA HP-1.

2.5 INSTALLATION MATERIALS

- A. Anchors: Select material, type, size, and finish required for each substrate for secure anchorage. Provide metal expansion sleeves or expansion bolts for post-installed anchors. Use nonferrous-metal or hot-dip galvanized anchors and inserts at inside face of exterior walls.
- B. Installation Adhesive: Product recommended by panel fabricator for each substrate for secure anchorage.

2.6 FABRICATION

- A. Arrange paneling in shop or other suitable space in proposed sequence for examination by Architect. Mark units with temporary sequence numbers to indicate position in proposed layout.
 - 1. Lay out one elevation at a time if approved by Architect.
 - 2. Notify Architect seven days in advance of the date and time when layout will be available for viewing.
 - 3. Rearrange paneling as directed by Architect until layout is approved.
 - 4. Do not trim end units and other nonmodular-size units to less than modular size until after Architect's approval of layout.
 - 5. Obtain Architect's approval of layout before start of assembly. Mark units and Shop Drawings with assembly sequence numbers based on approved layout.
- B. Complete fabrication, including assembly, to maximum extent possible, before shipment to Project site. Disassemble components only as necessary for shipment and installation. Where necessary for fitting at site, provide ample allowance for scribing, trimming, and fitting.
 - 1. Notify Architect seven days in advance of the dates and times paneling fabrication will be complete.
- C. Shop cut openings, to maximum extent possible, to receive hardware, appliances, plumbing fixtures, electrical work, and similar items. Locate openings accurately and use templates or roughing-in diagrams to produce accurately sized and shaped openings. Sand edges of cutouts to remove splinters and burrs.

2.7 SHOP FINISHING

- A. General: Finish paneling at fabrication shop as specified in this Section. Defer only final touchup, cleaning, and polishing until after installation.
- B. Shop Priming: Shop apply the prime coat including backpriming, if any, for transparent-finished paneling specified to be field finished. See Sections 099300 "Staining and Transparent Finishing".
- C. Preparation for Finishing: Comply with referenced quality standard for sanding, filling countersunk fasteners, sealing concealed surfaces, and similar preparations for finishing paneling, as applicable to each unit of work.
 - 1. Backpriming: Apply two coats of sealer or primer, compatible with finish coats, to concealed surfaces of paneling.
- D. Transparent Finish:
 - 1. Grade: Premium
 - 2. Finish: System – Manufacturer’s Standard Finish to match sheen of existing.
 - 3. Staining: Match existing
 - 4. Sheen: Match existing

PART 3 - EXECUTION**3.1 PREPARATION**

- A. Before installation, condition paneling to humidity conditions in installation areas.
- B. Before installing paneling, examine shop-fabricated work for completion and complete work as required, including removal of packing and backpriming.

3.2 INSTALLATION

- A. Grade: Install paneling to comply with quality standard grade of paneling to be installed.
- B. Install paneling level, plumb, true in line, and without distortion. Shim as required with concealed shims. Install level and plumb to a tolerance of 1/8 inch in 96 inches Install with no more than 1/16 inch in 96-inch vertical cup or bow and 1/8 inch in 96-inch horizontal variation from a true plane.
- C. Anchor paneling to supporting substrate with face fastening or manufacturer’s recommended adhesive.
- D. Complete finishing work specified in this Section to extent not completed at shop or before installation of paneling. Fill nail holes with matching filler where exposed.
 - 1. Apply specified finish coats, including stains and paste fillers if any, to exposed surfaces where only sealer/prime coats are shop applied.

- E. See Section 099123 “Interior Painting” for final finishing of installed paneling to match the refinishing proposed for existing panels on site.

3.3 ADJUSTING AND CLEANING

- A. Repair damaged and defective paneling, where possible, to eliminate defects. Where not possible to repair, replace paneling. Adjust for uniform appearance.
- B. Clean paneling on exposed surfaces. Touch up shop-applied finishes to restore damaged or soiled areas.

END OF SECTION 064216